

PROPOSED NEW SINGLE FAMILY RESIDENCE FOR: RAIKASH CONSTRUCTION

3405 JOHNSTON STREET, REDONDO BEACH, CA 90278



FRONT
RENDERING - VIEW A



FRONT
RENDERING - VIEW B

ABBREVIATIONS

A/C	AIR CONDITIONING	MAX.	MAXIMUM
ACOUS.	ACOUSTICAL	MTL.	METAL
A.D.	AREA DRAIN	MFG.	MANUFACTURER
A.F.F.	ABOVE FIN. FLOOR	MIN.	MINIMUM
ALUM.	ALUMINUM	MIR.	MIRROR
@	AT	M.T.	MARBLE TILE
BLDG.	BUILDING	MUL.	MULLION
BED.	BEDROOM	MW.	MICROWAVE
BR.	BRUSHED	N.I.C.	NOT IN CONTRACT
CEM.	CEMENT	N.T.S.	NOT TO SCALE
CLG.	CEILING	O.A.	OVER ALL
CL. OPNG	CLEAR OPENING	O.C.	ON CENTER
C.N.	CONSTRUCTION NOTE	PART.	PARTITION
COL.	COLUMN	P.L.	PLASTIC LAMINATE
CONC.	CONCRETE	POL.	POLISHED
CONT.	CONTINUOUS	PR.	PAIR
CONTR.	CONTRACTOR	P.T.	PRESSURE TREATED
C.T.	CERAMIC TILE	Q.T.	QUARRY TILE
DET.	DETAIL	RAD.	RADIUS
D.F.	DRINKING FOUNTAIN	R/F	REFRIGERATOR/ FREEZER
DIA.	DIAMETER	REF.	REFERENCE
DIM.	DIMENSION	REQ.	REQUIRED
DR.	DOOR	RM.	ROOM
DW.	DISHWASHER	R.R.	RESTROOM
DWG.	DRAWING	R.M.	RESTROOM
ELEV.	ELEVATION	S.C.	SEPARATE CIRCUIT
ELEC.	ELECTRICAL	SECT.	SECTION
ELEVAT.	ELEVATOR	SHT.	SHEET
EXIST.	EXISTING	SIM.	SIMILAR
F.D.	FLOOR DRAIN	SPECS.	SPECIFICATIONS
F.E.	FIRE EXTINGUISHER	S/R	STOVE/RANGE
F.H.C.	FIRE HOSE CABINET	S.STL.	STAINLESS STEEL
F.F.	FINISH FACE	STD.	STANDARD
FIN.	FINISH	SUSP.	SUSPENDED
FLR.	FLOOR	T.C.	TRASH COMPACTOR
FLOUR.	FLOUR	TRD.	TO BE DETERMINED
F.O.S.	FACE OF STUD	TELE.	TELEPHONE
F.W.C.	FABRIC WALL COVERING	THK.	THICK
GA.	GAUGE	TYP.	TYPICAL
GAL.	GALVANIZED	U.N.O.	UNLESS NOTED OTHERWISE
GD.	GARBAGE DISPOSAL	VERT.	VERTICAL
GL.	GLASS	V.I.F.	VERIFY IN FIELD
G.T.	GRANITE TILE	VOL.	VOLTS
GYP. BD.	GYP. BOARD	V.C.T.	VINYL COMP. TILE
HDWD.	HARDWOOD	V.S.F.	VINYL SHEET FLOORING
HDWR.	HARDWARE	V.W.C.	VINYL WALL COVERING
H.M.	HOLLOW METAL	W/	WITH
HGT.	HEIGHT	WC.	WALL COVERING
H.V.A.C.	HEAT, VENT., AIR COND.		
LAV.	LAVATORY		

CONSULTANTS

BUILDING DESIGN: **BF DESIGN**
Boris Flores - Principal
118 S. Catalina Ave. Suite E
Phone: (310) 614-0592
email: borisflores73@gmail.com

STRUCTURAL ENGINEER:

TITLE 24 CALCULATIONS: **PERFECT DESIGN**
Raymond Meng Zhong
2416 W Valley Blvd.
Alhambra, CA 91803
Phone: (626) 289-8808
Fax: (626) 289-4913

SURVEYOR:

SOILS ENGINEER: **NOR-CAL**
Soils and Geotechnical Consultants
1064 Humbolt Street
Los Alamitos, CA 90720
Phone: (562) 799-9469

SHEET INDEX

CS-1: General Project Information
CS-2: Project Notes

TS: Topographic Survey

ECP Erosion Control Plan

- A-1.0: Site Plan
- A-2.0: 1st Floor Plan
- A-2.1: 2nd Floor Plan
- A-2.2: Roof Plan
- A-2.3: A.D.U. Floor Plans
Elevations & Sections
- A-3.0: Exterior Elevations
- A-3.1: Exterior Elevations
- A-4.0: Building Sections
- A-4.1: Building Sections
- A-5.0: Window and Door Schedule
- A-6.0: Architectural Details
- A-6.1: Architectural Details
- A-6.2: Architectural Details
- A-6.3: Architectural Details

NOTE:

A building height survey shall be done prior to roof framing inspection to check the height of the highest ridge, parapet, gable, pitched or hipped roof when approved plans or field inspections show that building heights is less than 2-feet from the allowable maximum height of the building. A certificate shall be submitted to the building department stating the height or heights of the building from the natural ground level

Vicinity Map



Project Location

Project Information:

Owner: RAIKASH CONSTRUCTION (JATIN 'JOJO' RAINA)

Legal Description

Lot: 37
TRACT NO. 12955 M.B. 252/38-40

APN: 4151-007-040

Code Research

Applicable Codes: 2019 Edition of CRC, CEC, CMC, CPC, Energy Code, RB Municipal Amendments, R-1
Zoning: 30'-0"
Height Limit: (Above natural grade @ center line of lot)

Setbacks: 25'-0" Average (20' Minimum Setback)
Front: 35'-0" Average
Front "2nd Floor": 10% of lot width = (53+64.69)/2 X 0.10 = 5.88' = 5'-10" Side Setback
Sides (10% Lot Width): 20% of lot depth = (143.19+159.29)/2 X 0.20 = 30.25' = 30'-3" Average (15.0' Minimum Setback)
Rear (20% Lot Depth): 2 Enclosed at Garage

Parking: V-B
Type of Construction: R3 at Living / U at Garage
Occupancies: 2
Number of Stories: Required Per RBMC #2604 - Licensed Installer Shall Submit Shop Drawings for Approval Prior to Installation - On a Separate Permit.
Sprinkler System: Required - Under Separate Permit.

Solar Panels: Required - Under Separate Permit.
Flood Zone: Area "X"
Lot Area: 7,500.00 sq.ft.

NOTE:

DEMOLITION, GRADING, RETAINING WALLS, BLOCK WALLS, SPRINKLER SYSTEM & SOLAR PANELS UNDER SEPARATE PERMIT
(MUST BE SUBMITTED FOR PLAN REVIEW AND APPROVAL - AN ADDITIONAL PLAN REVIEW FEE MAY BE REQUIRED.)

Areas

First Floor Living	2,162.00 sq. ft.
Second Floor Living	2,065.00 sq. ft.
Total Living	4,227.00 sq. ft.
Garage	456.00 sq. ft.
Decks & Balconies	140.00 sq. ft.
Covered Outdoor Living	309.00 sq. ft.
Detached A.D.U.	460.00 sq. ft. < 800 sq.ft. - (Not Included on F.A.R.)
Lot Area:	8,724.17 sq. ft.
Total Allowable F.A.R.	Lot area X 0.65 = 8,724.17 x 0.65 = 5,670.71 sq. ft.
Proposed F.A.R.	4,227 sq. ft. (First Floor and Second Floor Living) + 309 sq.ft. (Covered Outdoor Living) + 456 sq. ft. (Garage) = 4,992 sq. ft. Proposed < 5,670.71 sq. ft. Allowable

Outdoor Living Space
Calcs. Rear Yard: 2,020.00 sq.ft.
2,020.00 sq.ft > 800.00 sq.ft OK

NOTE:

"Building shall have address numbers placed in a position that is plainly legible and visible from the street or road fronting the property. Numbers shall contrast with background, be Arabic or alphabetical letters and be a minimum of 4" high with a minimum stroke of 1/2 inch." (R319.1 CRC)

SCOPE OF WORK

- Demo Existing House
- Construct New Single Family Residence + New ADU
- Landscape & Hardscape Properly
- PV System must be installed prior to final inspection

BF Design L.L.C.
Architectural Design Studio
118 S. Catalina Ave. Suite E
Redondo Beach, CA 90277
Tel: (310) 614-0592



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Proposed New Single Family Residence for:
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Redondo Beach, CA 90278

Project No.

Date: 01/30/2023

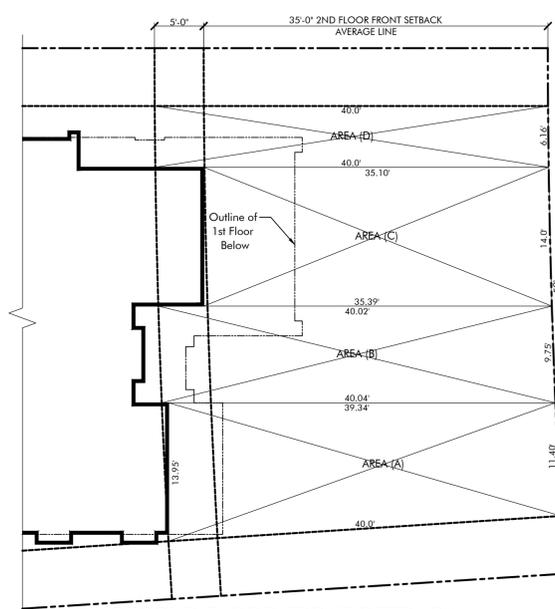
Revision
Date:

Drawing
By: bf

Signature:

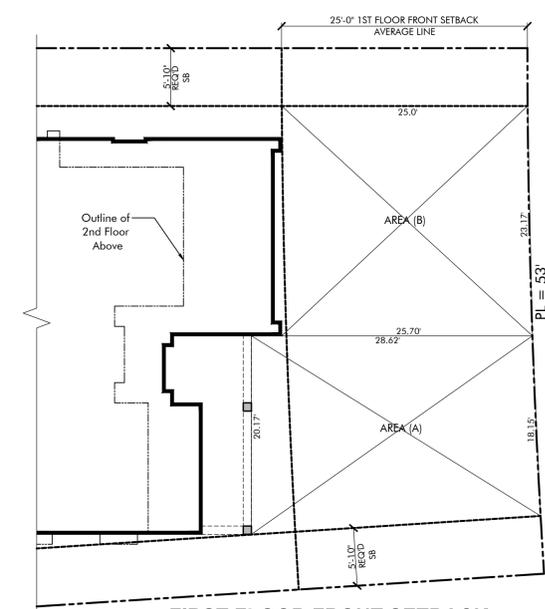
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CS-1



**SECOND FLOOR FRONT SETBACK
(35'-0" AVERAGE)**

1/8" = 1'-0"



**FIRST FLOOR FRONT SETBACK
(25'-0" AVERAGE)**

1/8" = 1'-0"

SETBACK CALCULATION

Req'd Second Floor Front Setback = 41.33' x 35' = **1,446.55 sq. ft.**

(A) $(40.0+39.34) / 2 \times (13.95+11.40) / 2 = 502.62 \text{ sq. ft.}$

(B) $(40.04+40.02) / 2 \times 9.75 = 390.29 \text{ sq. ft.}$

(C) $(35.39+35.10) / 2 \times 14.0 = 493.42 \text{ sq. ft.}$

(D) $40.0 \times 6.16 = 246.40 \text{ sq. ft.}$

Total First Floor Front Setback = 1,632.73 sq. ft.

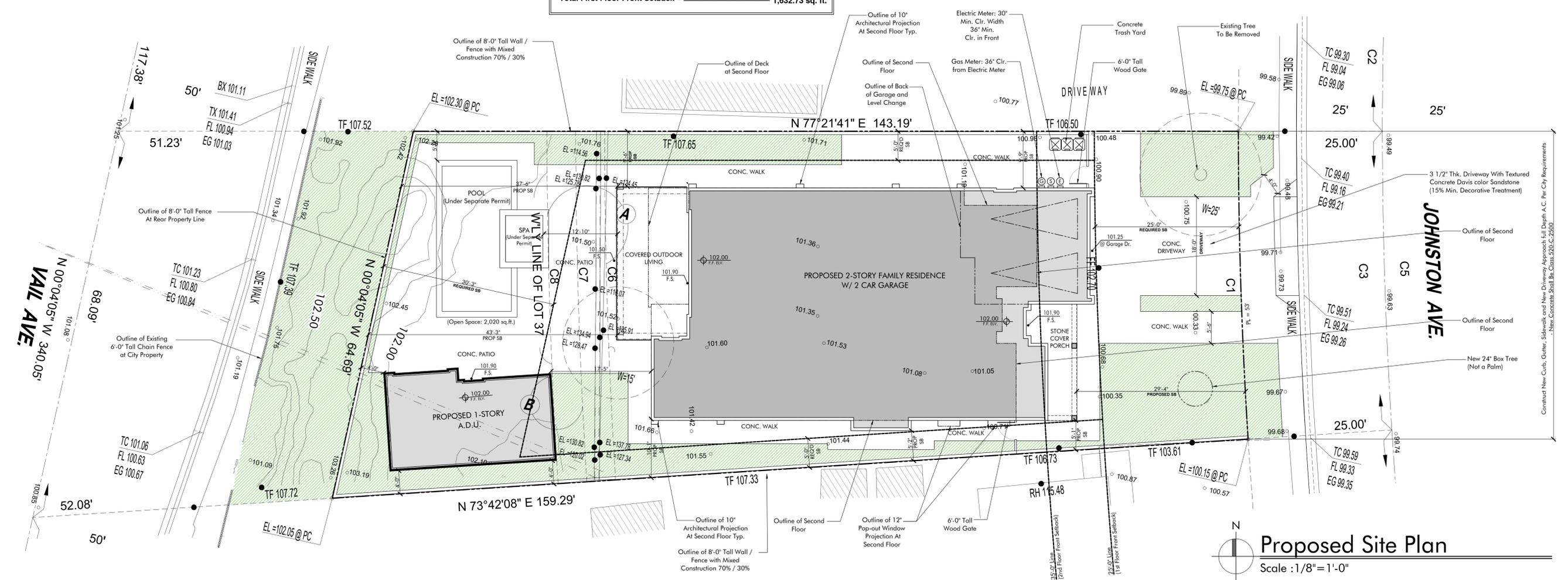
SETBACK CALCULATION

Req'd First Floor Front Setback = 41.33' x 25' = **1,033.25 sq. ft.**

(A) $28.62 \times (20.17+18.15) / 2 = 548.35 \text{ sq. ft.}$

(B) $(25.70+25.0) / 2 \times 23.17 = 587.35 \text{ sq. ft.}$

Total First Floor Front Setback = 1,135.70 sq. ft.



Proposed Site Plan
Scale: 1/8" = 1'-0"

SITE PLAN LEGEND

	LANDSCAPE/ PLANTERS AREA
	ONE STORY ELEMENT
	TWO STORY ELEMENT

- AREA DRAIN	T.W.	- TOP OF WALL
- EXISTING GRADE	T.O.P.	- TOP OF PLASTER
- FINISH SURFACE	T.C.	- TOP OF CURB
- FINISH CONCRETE	T.D.	- TRENCH DRAIN
	T.F.	- TOP OF FENCE

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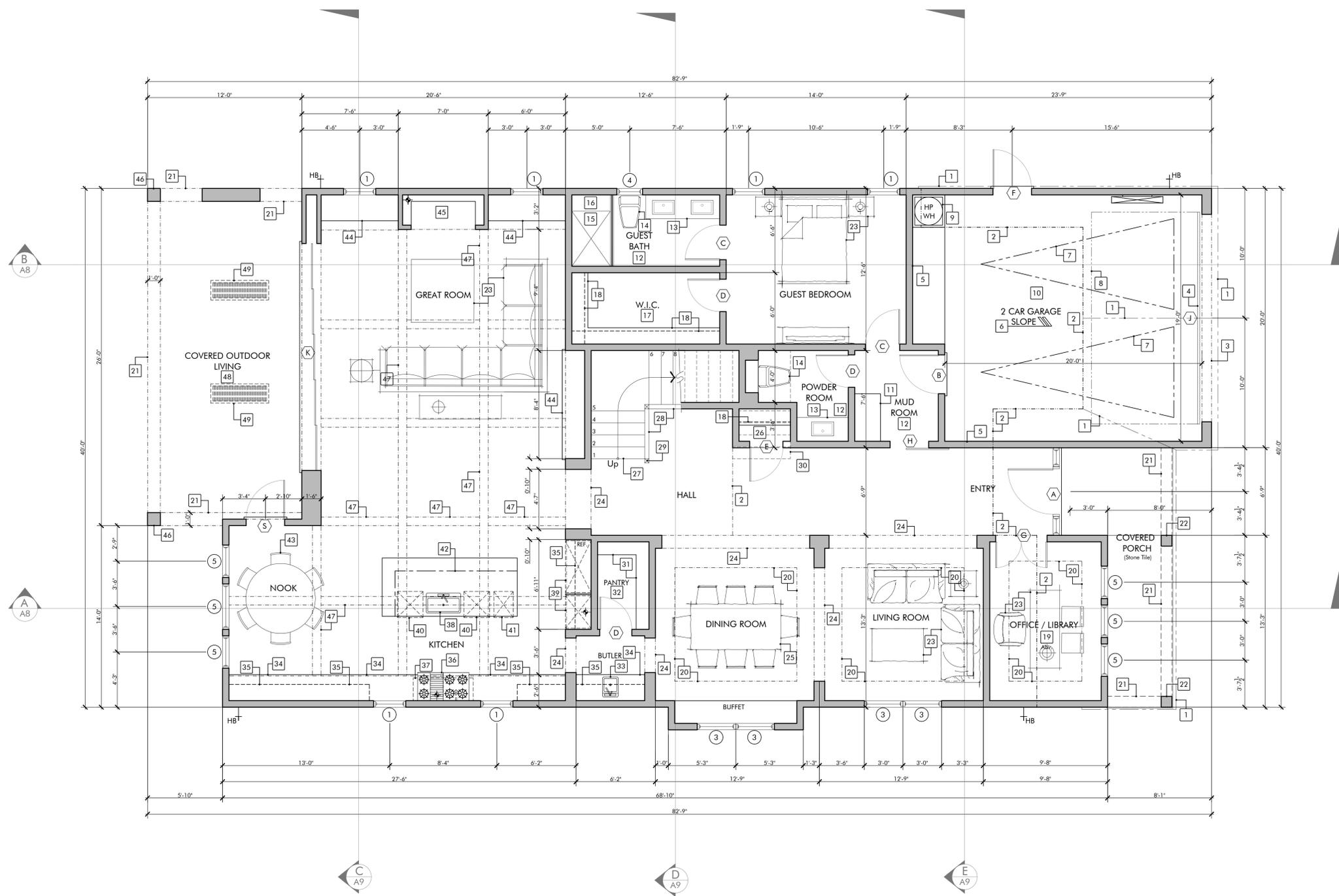
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Signature:

Sheet
A-1.0



1st Floor Plan

Scale : 1/4" = 1'-0"

Living Area: 2,162 sq.ft.
 Covered Outdoor Living: 309 sq.ft.
 Garage: 456 sq.ft.

- 32 Flat furr down ceiling above to 8'-6" to accommodate heating ducts
- 33 Utility sink at butler - per owner
- 34 Granite countertop typ. w/ cabinetry below
- 35 Outline of cabinets above
- 36 Gas range with dbl. ovens below - Consult w/ Owner / Developer for specification
- 37 Outline of hood w/ exhaust fan
- 38 Farmhouse sink w/ garbage disposal
- 39 Refrigerator and freezer w/ water line
- 40 Dishwasher space
- 41 Trash compactor space
- 42 Island w/ 12" deep knee space for bar stools
- 43 Outline of dinner table nook
- 44 Built-in cabinet w/ furring above
- 45 48" fireplace per owner
- 46 10" square column
- 47 Outline of 8" ± wide beams above.
- 48 Stone tile finish at exterior floor, consult owner
- 49 Heaters recessed in ceiling above.

GENERAL LEGEND

- 2x4 STUDS @ 16" O.C. AT INTERIOR WALLS, 2x6 STUDS AT 16" O.C. AT EXTERIOR WALLS, 2x6 MIN. @ 16" O.C. AT PLUMBING WALLS AND 2x6 STUDS AT 16" O.C. AT WALLS BETWEEN HOUSE AND GARAGE FOR R-19 INSULATION. U.N.O. - 7/8" SMOOTH TROWEL CEMENT PLASTER OVER 2 LAYERS OF 3/8" GRADE D BUILDING PAPER OVER SHEATHING AND 5/8" GYPSUM BOARD AT INTERIOR SIDE - SEE T-24 FOR INSULATION REQUIRED
- HOSE BIB W/ ANTI-SIPHON DEVICE CPC 403.5.7 VERIFY FINAL LOCATIONS WITH OWNER ON SITE
- WINDOW SYMBOL - SEE SCHEDULE - SHEET A-6.0
- DOOR SYMBOL - SEE SCHEDULE - SHEET A-6.0
- ENTRY / EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75' BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3); LANDING SHALL BE SLOPED AWAY FROM DOOR A MINIMUM OF 2% AND NO LESS THAN THE WIDTH OF THE DOOR OR THE STAIRS SERVED - WHICHEVER IS GREATER.
- FOR TYPICAL CUTTING, BORING AND NOTCHING THROUGH WOOD FRAMING
- FOR TYPICAL DOOR AND WINDOW OPENING FRAME DETAILS.

KEY NOTES

- 1 Outline of roof above
- 2 Outline of floor above
- 3 Outline of furring above garage door - See Exterior Elevation
- 4 Sectional roll-up door w/ Automatic Garage door opener; requires back up batteries installed - See Exterior Elevations
- 5 5/8" type 'x' gypboard finish @ walls and ceiling between garage and living areas - See detail (A-6.2)
- 6 Slope concrete slab min. 1% to garage door
- 7 Outline of standard parking spots 8'-6"x18'-0" min.
- 8 Outline of garage door in open position
- 9 Heat pump location (Water Heater) tankless water heaters location - with an input greater than 6.8 kbtu/hr. shall have isolation valves on both the cold water supply and the hot water pipe leaving the water heater - per section 110.3 (c)7 - See T-24 Sheets and Calc's
- 10 Ducts penetration wall or ceiling penetrations between garage and dwelling unit shall be constructed of 26 gage minimum sheet metal and shall have no opening into garage - per Section R302.5.2
- 11 Granite countertop typ. w/ cabinetry below
- 12 Consult w/ HVAC installer for possible flat furring @ ceiling above for ducting if necessary
- 13 Lavatory and base cabinet w/ countertop & backsplash
- 14 Water closet - Selected by owner - Provide 30" min. clr. Width and 24" min. clr. space in front - CPC 407.5
- 15 Semi-Frameless tempered glass enclosure - Tiled shower
- 16 18" raised tiled shower seat
- 17 Flat furr down ceiling above to 8'-6" to accommodate Mech. Equipment & ducts
- 18 Closet shelving system - per developer
- 19 Provide 6" wide T&G or 4" wide beaded board @ ceiling above w/ cove moulding @ perimeter per Owner / Developer
- 20 Outline of soffit / ceiling above - see (A-6.2) (A-6.2)
- 21 Framing Furr-out above - See Elevations
- 22 10" square column
- 23 Outline of furniture
- 24 Furr down opening above to 9'-0". Provide full casing around opening
- 25 Outline of dinner table
- 26 Provide one hour construction under stairs. Use 5/8" 'x' gypboard @ walls & ceiling - See (A-6.2)
- 27 See details (A-6.1) & (A-6.1) for stair detail
- 28 34" high wood railing w/ intermediate rails spaced such that a 4" Ø sphere cannot pass thru - See detail (A-6.1)
- 29 Wood Post at Stairs Rail - See detail (A-6.2)
- 30 Outline of stairs above
- 31 Pantry w/ full height shelving

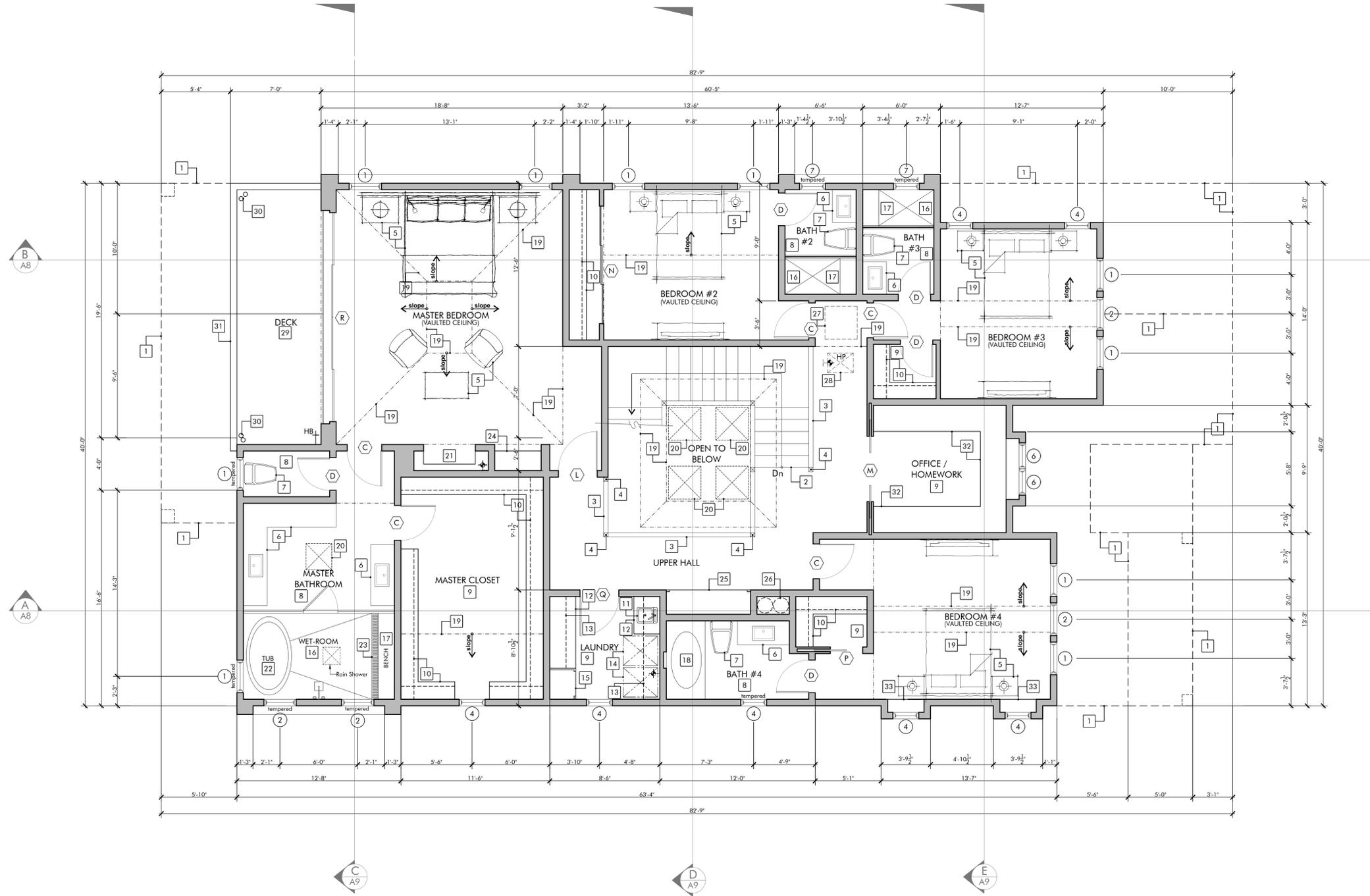
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 Revision Date:
 Drawing By: bf
 Signature: *[Signature]*
 Sheet
A-2.0



2nd Floor Plan

Scale : 1/4" = 1'-0"

Living Area: 2,065 sq.ft.

GENERAL LEGEND

- 2x4 STUDS @ 16" O.C. AT INTERIOR WALLS, 2x6 STUDS AT 16" O.C. AT EXTERIOR WALLS AND 2x6 MIN. @ 16" O.C. AT PLUMBING WALLS - U.N.O. - 7/8" SMOOTH TROWEL CEMENT PLASTER OVER 2 LAYERS OF 30# GRADE D BUILDING PAPER OVER SHEATHING AND 5/8" GYPSUM BOARD AT INTERIOR SIDE - SEE T-24 FOR INSULATION REQUIRED
- +H.B. HOSE BIB W/ ANTI-SIPHON DEVICE CPC 403.5.7
VERIFY FINAL LOCATIONS WITH OWNER ON SITE
- # WINDOW SYMBOL - SEE SCHEDULE - SHEET A-6.0
- A DOOR SYMBOL - SEE SCHEDULE - SHEET A-6.0
- ENTRY / EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.5' BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (RS11.3); LANDING SHALL BE SLOPED AWAY FROM DOOR A MINIMUM OF 2% AND NO LESS THAN THE WIDTH OF THE DOOR OR THE STAIRS SERVED - WHICHEVER IS GREATER.
- 1 FOR TYPICAL CUTTING, BORING AND NOTCHING THROUGH WOOD FRAMING.
- 3 FOR TYPICAL DOOR AND WINDOW OPENING FRAME DETAILS.

KEY NOTES

- 1 Outline of roof below
- 2 See details 1 & 2 for stair detail
- 3 34" high wood railing w/ intermediate rails spaced such that a 4" sphere cannot pass thru - See detail 4
- 4 Wood Post at Stairs Rail - See detail 12
- 5 Outline of furniture
- 6 Lavatory and base cabinet w/ countertop & backsplash
- 7 Water closet - Selected by owner - Provide 30" min. cl. Width and 24" min. cl. space in front - CPC 407.5
- 8 Consult w/ HVAC installer for possible flat furring @ ceiling above for ducting if necessary
- 9 Flat furr down ceiling above to 8'-6" to accommodate Mech. Equipment & ducts
- 10 Closet shelving system - per developer
- 11 Utility sink at laundry
- 12 Granite countertop typ. w/ cabinetry below
- 13 Outline of cabinets above
- 14 Washer/Dryer selected by developer
- 15 Full height linen closet
- 16 Semi-Frameless tempered glass enclosure - Tiled shower
- 17 18" raised tiled shower seat
- 18 Cast iron tub w/ shower head & enclosure
- 19 Outline of sloped ceiling - See Sections
- 20 2'-6" square skylight assembly at ceiling W/ 6" Flare - See detail 9
- 21 48" fireplace per owner
- 22 Outline of stand alone tub per owner
- 23 Trench drain - connect to sump pump. See civil sheets
- 24 Outline of lower built in cabinetry
- 25 Built-in cabinet w/ furring above
- 26 Duct chase area
- 27 Outline of attic access
- 28 Outline of HP in attic
- 29 Waterproof DEX-0-TEX ESR-1757- Installed per manufacturer's instructions over metal flashing, over deck sheathing (Plywood Only - No OSB) and lightweight concrete
- 30 Minimum 2% slope to drain deck. Drains should be thunderbird BDCD43NH 3 - Provide scupper overflow 2" above fin. flr. & along with drain. Confirm specifications with deck waterproofing contractor. - See detail 9
- 31 42" Guardrail - Refer to exterior elevations
See details 7 & 8
- 32 Built-in desk with storage per developer at home office
- 33 Provide wood cap at bench - Possible storage below

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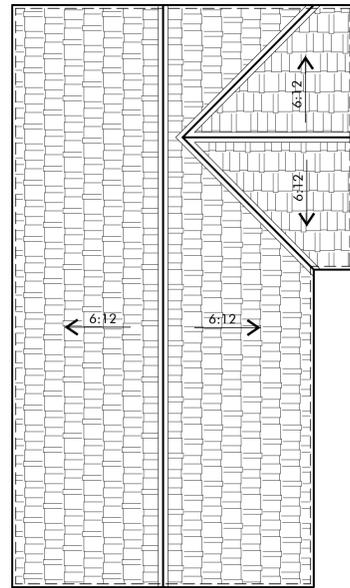
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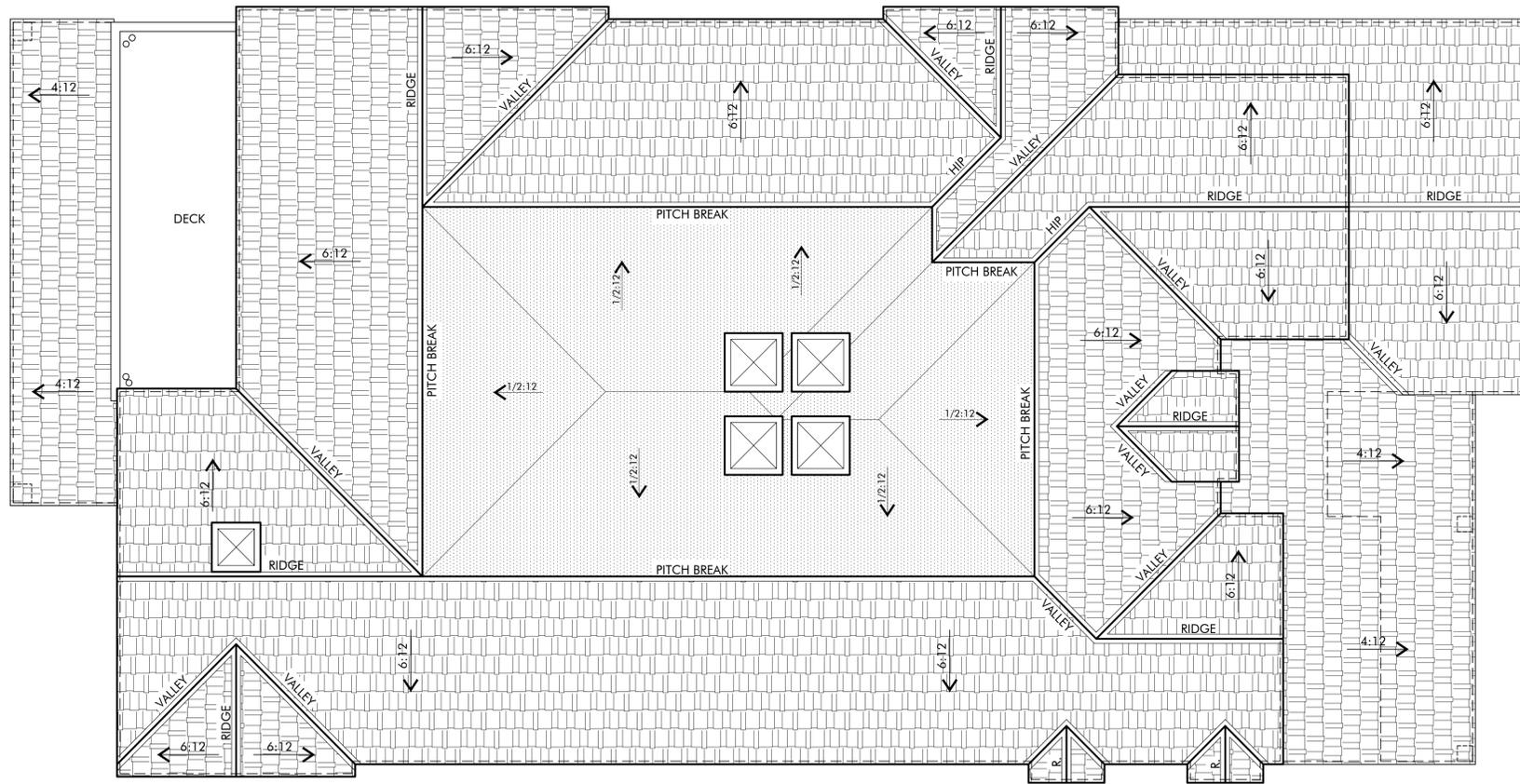


Proposed Roof Plan - A.D.U.
Scale : 1/4" = 1'-0"

Attic Vent Calculations:

Vent Area = 0.67 sq. ft.

Attic area = 90 sq. ft. / 150 = 0.60 sq. ft. of vents / 0.67 = 0.89 = 2 () vents provided
attic vents - provided - Flat Style Vents by Ohagins Inc. (ICC-9650A) ; Painted Same color than Roof Finish Material.



Proposed Roof Plan - S.F.R.
Scale : 1/4" = 1'-0"

Attic Vent Calculations:

Vent Area = 0.67 sq. ft.

Attic area = 2,205 sq. ft. / 150 = 14.7 sq. ft. of vents / 0.67 = 21.94 = 22 () vents provided
attic vents - provided - Flat Style Vents by Ohagins Inc. (ICC-9650A) ; Painted Same color than Roof Finish Material.

- NOTES:**
- SOLAR PANELS SHALL BE PROVIDED (PER T-24 REPORT)
 - SUBMIT SOLAR PANELS PLANS TO THE BUILDING DEPARTMENT UNDER A SEPARATE PERMIT
 - PROVIDE RADIANT BARRIER AT ROOF (PER T-24 REPORT)

KEY NOTES		ROOF LEGEND	
1	Outline of building below		Minimum class "B" roof material: "Composition Shingle Roof Finish" 229 Lbs. per Sq.Ft.; ICC-ES-ESR-3537 UL Certified to Meet ASTM D3462 ;UL Certified to Meet ASTM D3018 Type I CSA Std A123.5. All roof coverings shall be Class "A" as specified in Building Code 1505.2.- Over minimum 2 layers of 15# felt laid with 19" overlap
2	5"Ø ½ round copper or painted galvanized aluminum gutter		
3	2'-6" x 2'-6" Flat skylight w/ solar gray glass Tempered as manufactured by "VELUX", unifor -ES REPORT ER-0199 / ICC-ES REPORT ESR-4108 - gray anodized alum. skylight mounted on a gray anodized aluminum clad wood frame curb. screw to curb and seal screw heads w/ silicone caulking.		Minimum class "A" Built-up roofing, "GAF MATERIALS" ESR-1274 - Over 2 layers 15# felt with 90# cap sheet. Minimum slope 1/2:12 nail base sheet per table 15-E. Hot mop in between layers, 1/2" per foot slope. Material must meet cool roof standards: Reflectance = 0.02 Min. and Emittance = 0.85 Min.
4	Coordinate final location of downspout inside wall with developer on site.		
5	See Detail (12/A6.0) for Skylight Flashing		



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A-2.2

GENERAL LEGEND

- 2x4 STUDS @ 16" O.C. AT INTERIOR WALLS, 2x6 STUDS AT 16" O.C. AT EXTERIOR WALLS AND 2x6 MIN. @ 16" O.C. AT PLUMBING WALLS - U.N.O. - 7/8" SMOOTH TROWEL CEMENT PLASTER OVER 2 LAYERS OF 30# GRADE D BUILDING PAPER OVER SHEATHING AND 5/8" GYPSUM BOARD AT INTERIOR SIDE - SEE T-24 FOR INSULATION REQUIRED
- ±H.B. HOSE BIB W/ ANTI-SIPHON DEVICE CPC 603.5.7
VERIFY FINAL LOCATIONS WITH OWNER ON SITE
- # WINDOW SYMBOL - SEE SCHEDULE - SHEET A-6.0
- A DOOR SYMBOL - SEE SCHEDULE - SHEET A-6.0
- ENTRY / EXIT DOOR MUST OPEN OVER A LANDING NOT MORE THAN 1.5' BELOW THE THRESHOLD. EXCEPTION: PROVIDING THE DOOR DOES NOT SWING OVER THE LANDING. LANDING SHALL BE NOT MORE THAN 7.75' BELOW THE THRESHOLD. STORM AND SCREEN DOORS ARE PERMITTED TO SWING OVER ALL EXTERIOR STAIRS AND LANDINGS. (R311.3); LANDING SHALL BE SLOPED AWAY FROM DOOR A MINIMUM OF 2% AND NO LESS THAN THE WIDTH OF THE DOOR OR THE STAIRS SERVED - WHICHEVER IS GREATER.
- 1 FOR TYPICAL CUTTING, BORING AND NOTCHING THROUGH WOOD FRAMING.
A-7.2
- 3 FOR TYPICAL DOOR AND WINDOW OPENING FRAME DETAILS.
A-7.2

KEY NOTES

BF Design L.L.C.
Architectural Design Studio
118 S. Catalina Ave. Suite E
Redondo Beach, CA 90277
Tel: (310) 614-0592

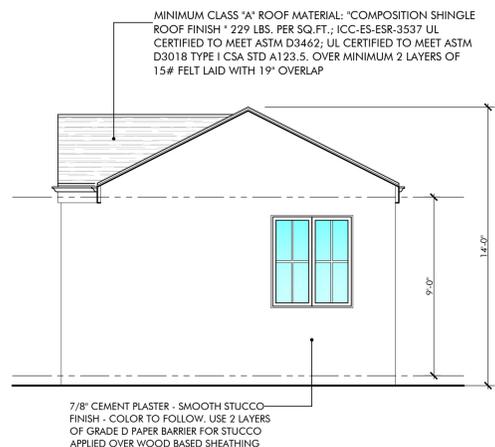


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3405 Johnston Ave
Redondo Beach, CA 90278

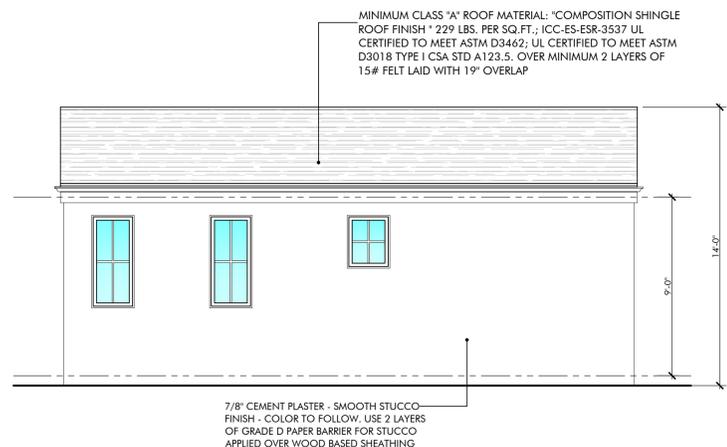
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Date: 01/30/2023
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Signature: *[Signature]*

Sheet
A-2.3



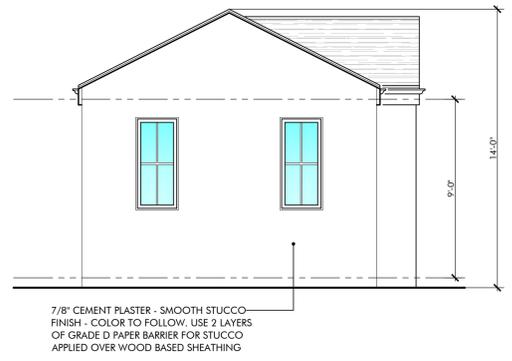
A.D.U. West Elevation

Scale : 1/4" = 1'-0"



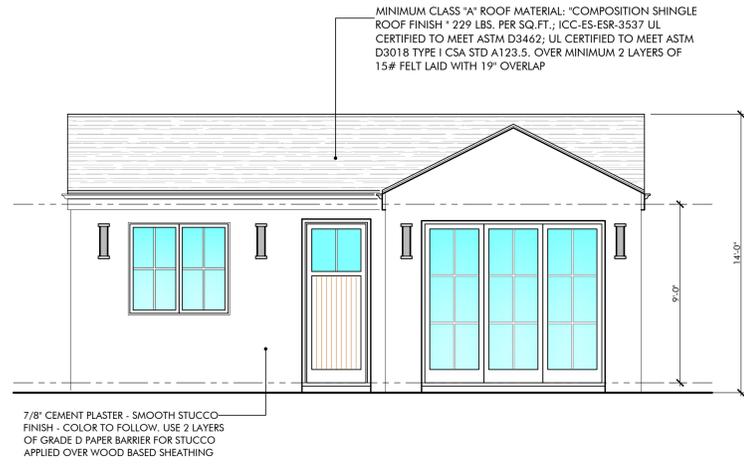
A.D.U. South Elevation

Scale : 1/4" = 1'-0"



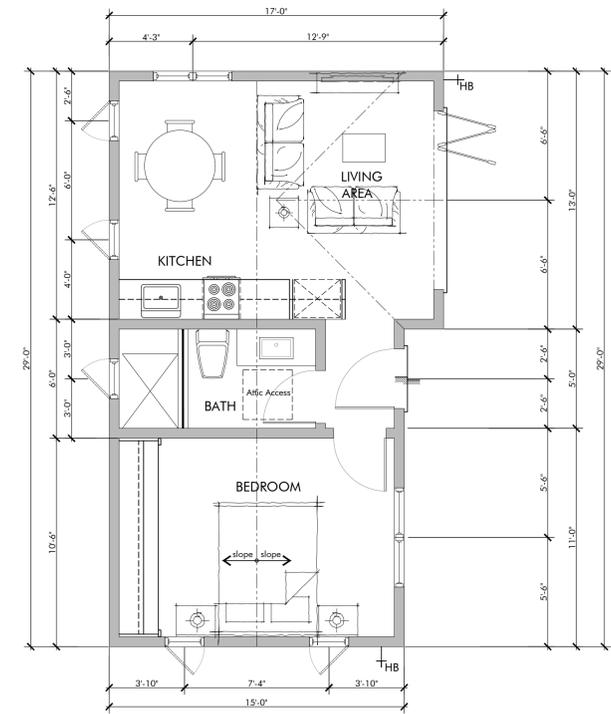
A.D.U. East Elevation

Scale : 1/4" = 1'-0"



A.D.U. North Elevation

Scale : 1/4" = 1'-0"



A.D.U. Floor Plan

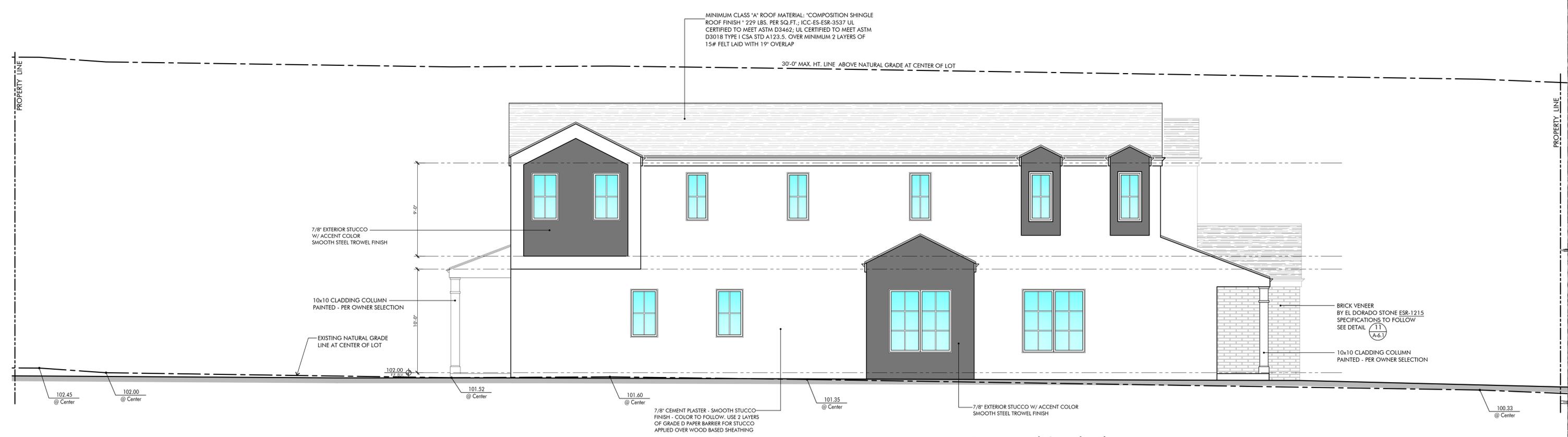
Scale : 1/4" = 1'-0"

ADU Living Area: 460 sq.ft.



Proposed East Elevation

Scale : 1/4" = 1'-0" Front



Proposed South Elevation

Scale : 1/4" = 1'-0" Left

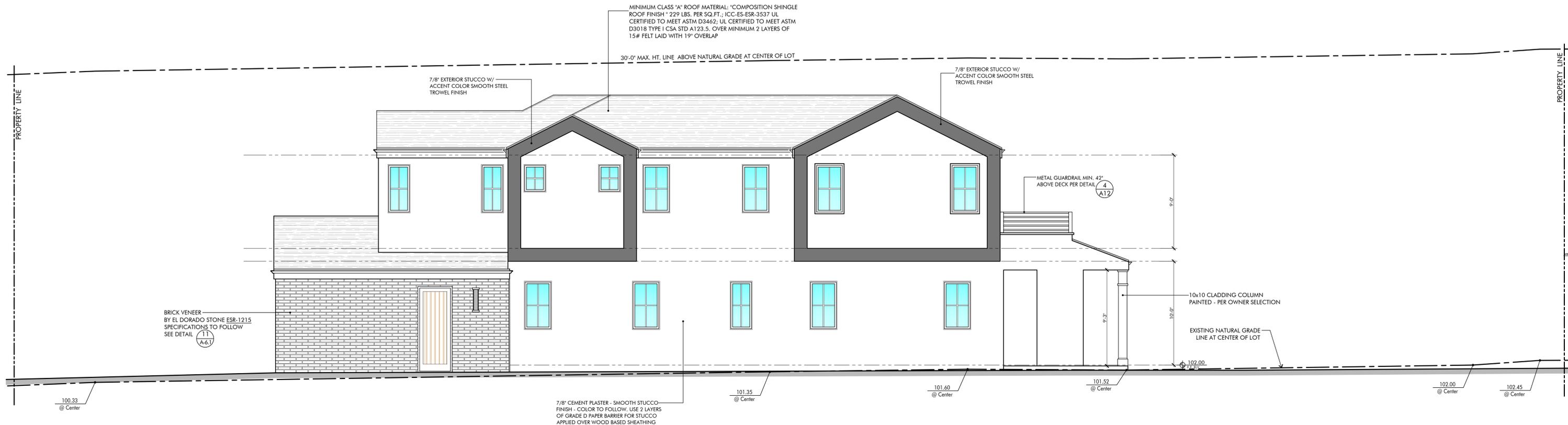


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Signature:	<i>[Signature]</i>



Proposed North Elevation
 Scale : 1/4" = 1'-0" Right



Proposed West Elevation
 Scale : 1/4" = 1'-0" Rear

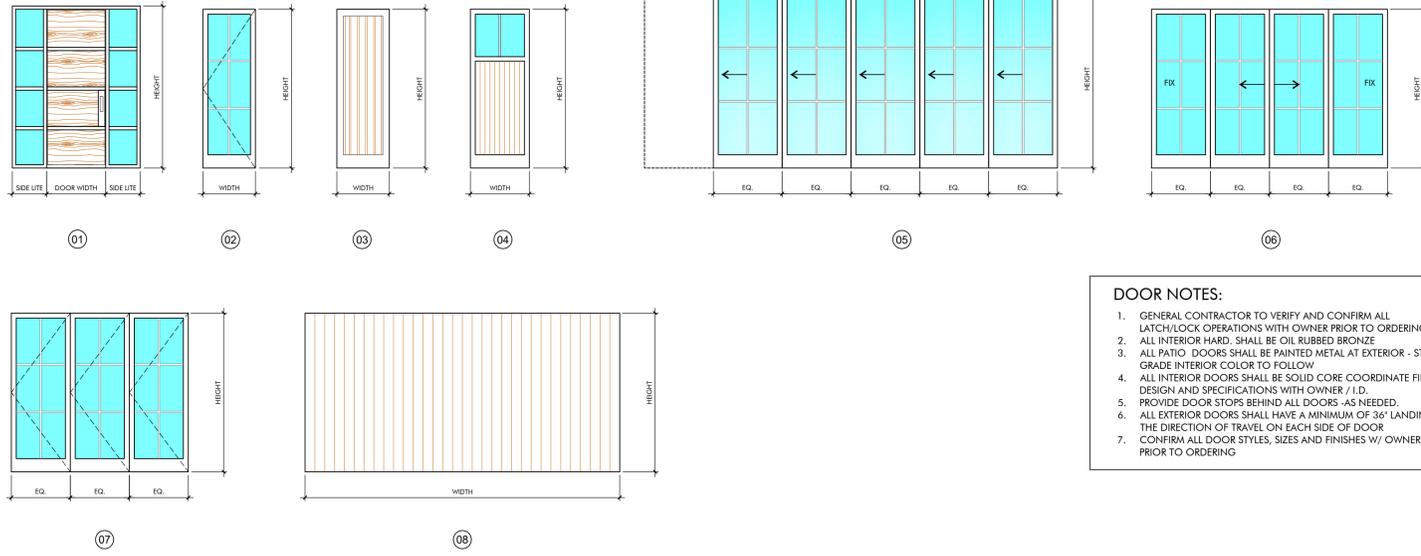
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EXTERIOR DOOR TYPES

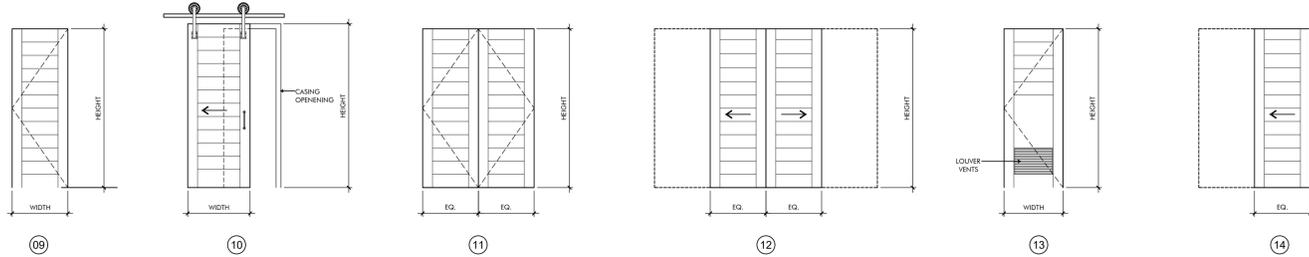
SCALE: 3/8" = 1'-0"



- DOOR NOTES:**
- GENERAL CONTRACTOR TO VERIFY AND CONFIRM ALL LATCH/LOCK OPERATIONS WITH OWNER PRIOR TO ORDERING.
 - ALL INTERIOR HARD. SHALL BE OIL RUBBED BRONZE
 - ALL PATIO DOORS SHALL BE PAINTED METAL AT EXTERIOR - STAIN GRADE INTERIOR COLOR TO FOLLOW
 - ALL INTERIOR DOORS SHALL BE SOLID CORE COORDINATE FINAL DESIGN AND SPECIFICATIONS WITH OWNER / I.D.
 - PROVIDE DOOR STOPS BEHIND ALL DOORS - AS NEEDED.
 - ALL EXTERIOR DOORS SHALL HAVE A MINIMUM OF 36" LANDING IN THE DIRECTION OF TRAVEL ON EACH SIDE OF DOOR
 - CONFIRM ALL DOOR STYLES, SIZES AND FINISHES W/ OWNER PRIOR TO ORDERING

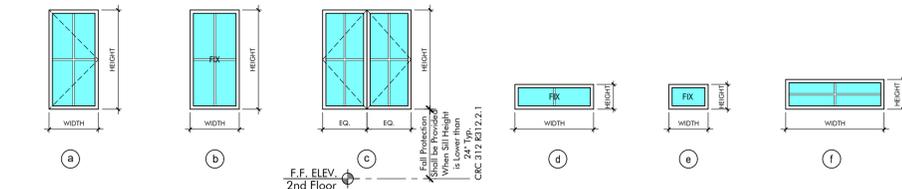
INTERIOR DOOR TYPES

SCALE: 3/8" = 1'-0"



WINDOW TYPES

SCALE: 3/8" = 1'-0"



- WINDOW NOTES:**
- CONTRACTOR TO VERIFY THAT BEDROOM WINDOW(S) OPENINGS MEET MINIMUM ESCAPE/RESCUE CLEARANCE REQUIREMENTS (PER C.B.C. 310.4) PRIOR TO ORDERING WINDOWS.
 - ALL HARDWARE SHALL BE OIL BRONZE RUBBED OR ALIKE.
 - ALL WINDOWS SHALL BE PAINTED INSIDE WITH METAL CLAD EXTERIOR.
 - CONFIRM ALL WINDOW STYLES, HARDWARE, OPERATION, SIZES AND FINISHES WITH OWNER PRIOR TO ORDERING.
- GLAZING NOTES:**
- GLAZING SHALL BE TEMPERED IN THE FOLLOWING LOCATIONS:
- INGRESS AND EGRESS DOORS
 - PANELS IN SLIDING OR SWINGING DOORS
 - DOORS AND ENCLOSURES FOR HOT TUB, SHOWERS (ALSO GLAZING IN WALL ENCLOSING THESE COMPARTMENTS WITHIN 5' OF STANDARD SURFACE)
 - IF WITHIN 2' OF VERTICAL EDGE OF CLOSED DOOR AND WITHIN 5' OF STANDING SURFACE
 - PROVIDE LOW 'E' GLASS THROUGHOUT

DOOR SCHEDULE - TEMPERED GLASS IN ALL DOORS

SYM	SIZE (WIDTH x HEIGHT x THK)	MATERIAL		TYPE	FINISH	HINGE	GLAZING	U-FACTOR	MUNTIN PATTERN	REMARKS
(A)	3'-6" x 8'-0" x 1 3/4" W/ 1'-5 1/2" x 8'-0" SIDE LITES	HARDWOOD	01	ENTRY	PAINT GRADE	PER PLAN	PER ENERGY CALCS	---	NONE	CUSTOM DESIGN EXTERIOR DOOR WITH TEMPERED GLASS SIDELITES AND TRANSOM. - SEE ELEVATION
(B)	2'-8" x 8'-0" x 1 3/4"	SOLID CORE	09	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	TIGHT FITTING / 60 MIN. FIRE RATED W/ SELF CLOSER AND SELF LATCHING - INTERIOR
(C)	2'-8" x 8'-0" x 1 3/4"	SOLID CORE	09	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(D)	2'-6" x 8'-0" x 1 3/4"	SOLID CORE	09	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(E)	2'-7" x 8'-0" x 1 3/4"	SOLID CORE	09	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(F)	3'-0" x 8'-0" x 1 3/4"	HARDWOOD	03	EXTERIOR	PAINT GRADE	PER PLAN	---	---	NONE	EXTERIOR - SEE ELEVATIONS
(G)	PR. 2'-0" x 8'-0" x 1 3/4"	SOLID CORE	11	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(H)	3'-0" x 8'-0" x 1 3/4"	SOLID CORE	10	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH SELF LATCHING
(J)	16'-0" x 8'-0" x 1 3/4"	ALUMINUM	08	GARAGE DOOR	PAINT GRADE	PER PLAN	---	---	NONE	GARAGE DOOR WITH WEATHER STRIPPING W/ AUTOMATIC GARAGE DOOR OPENER - REQUIRES BACK UP BATTERIES INSTALLED - SEE ELEVATIONS
(K)	(5) 3'-6" x 9'-0" x 1 3/4"	ALUMINUM CLAD	05	SLIDING	PAINT GRADE	PER PLAN	PER ENERGY CALCS	---	2 LITES WIDE X 3 LITES HIGH	EXTERIOR - WITH TEMPERED GLAZING - SEE ELEVATIONS - FIVE PANELS OPERABLE
(L)	3'-0" x 8'-0" x 1 3/4"	SOLID CORE	09	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(M)	(2) 2'-6" x 8'-0" x 1 3/4"	SOLID CORE	12	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(N)	M.F. x 8'-0" x 1 3/4"	SOLID CORE	--	WARDROBE SLIDER	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WARDROBE - CLOSET
(P)	2'-6" x 8'-0" x 1 3/4"	SOLID CORE	14	SLIDING	PAINT GRADE	PER PLAN	---	---	NONE	INTERIOR WITH PRIVACY LOCKSET
(Q)	3'-0" x 8'-0" x 1 3/4"	SOLID CORE	13	RAISED PANEL	PAINT GRADE	PER PLAN	---	---	NONE	200 SQ. IN. LOUVERED OPENING FOR COMBUSTION AIR AT BOTTOM - INTERIOR AT LAUNDRY WITH LATCHSET
(R)	(4) 4'-0" x 8'-0" x 1 3/4"	ALUMINUM CLAD	06	SLIDING	PAINT GRADE	PER PLAN	PER ENERGY CALCS	---	2 LITES WIDE X 3 LITES HIGH	EXTERIOR - WITH TEMPERED GLAZING - SEE ELEVATIONS - TWO MIDDLE PANELS OPERABLE; TWO OUTER PANELS FIXED
(S)	3'-0" x 8'-0" x 1 3/4"	ALUMINUM CLAD	02	FRENCH DOOR	PAINT GRADE	PER PLAN	PER ENERGY CALCS	---	2 LITES WIDE X 3 LITES HIGH	EXTERIOR - WITH TEMPERED GLAZING - SEE ELEVATIONS
(T)										
(U)										
(V)										
(W)										
(X)										
(Y)										
(Z)										

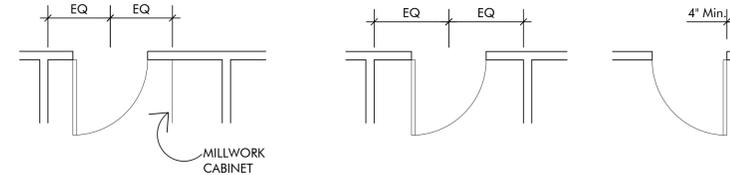
WINDOW SCHEDULE

SYM	SIZE	MATERIAL		TYPE	FINISH	HINGE	GLAZING	U-FACTOR / SHGC	MUNTIN PATTERN	REMARKS
(1)	2'-6" x 4'-6"	ALUMINUM CLAD	a	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(2)	2'-6" x 4'-6"	ALUMINUM CLAD	b	FIXED	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(3)	PR. 3'-0" x 6'-0"	ALUMINUM CLAD	c	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(4)	2'-0" x 4'-6"	ALUMINUM CLAD	a	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(5)	2'-6" x 6'-0"	ALUMINUM CLAD	a	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(6)	PR. 2'-0" x 4'-6"	ALUMINUM CLAD	c	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(7)	2'-0" x 2'-6"	ALUMINUM CLAD	b	CASEMENT	PAINT GRADE	PER PLAN	INSULATED	0.3 / 0.23	2 LITES WIDE X 2 LITES HIGH	EXTERIOR - SEE ELEVATIONS
(8)										
(9)										
(10)										
(11)										
(12)										
(13)										
(14)										
(15)										
(16)										
(17)										
(18)										
(19)										
(20)										
(21)										
(22)										
(23)										
(24)										
(25)										
(26)										

NOTES:
SEE COVER SHEET - PROJECT GENERAL NOTE # 69 IN ORDER TO PROVIDE SAFETY GLAZING IN THE APPROPRIATE DOORS AND WINDOWS.
ALSO, SEE FLOOR PLANS REGARDING WINDOWS THAT REQUIRE TEMPERED GLASS.

GENERAL NOTES

- INTERIOR CLOSET DOORS STYLE AND SIZES PER OWNER.
- ALL HABITABLE ROOM MUST MEET EGRESS REQUIREMENTS PER CBC 2016 -- CONTRACTOR/OWNER TO VERIFY PRIOR TO THE PURCHASE OF WINDOWS AND DOORS.



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